

**FAIRFAX COUNTY, VIRGINIA  
2005 SOUTH COUNTY AREA PLANS REVIEW  
NOMINATION TO AMEND THE COMPREHENSIVE PLAN**

**Staff Use Only**

Date Received: 9/21/05  
 Date Accepted: \_\_\_\_\_  
 Planning District: \_\_\_\_\_  
 Special Area: \_\_\_\_\_

**SECTION 1: NOMINATOR/AGENT INFORMATION**

Name: Supervisor Bulova for Braddock APR Task Force Daytime Phone: 703-425-9300

Address: 9002 Burke Lake Road, Burke, VA 22015

Nominator E-mail Address: braddock@fairfaxcounty.gov

Signature of Nominator (NOTE: There can be only one nominator per nomination):

*Maureen for Bulova*

Signature of Owner(s) if applicable: (NOTE: Attach an additional sheet if necessary. Each owner of a nominated parcel must either sign the nomination or be sent a certified letter):

Anyone signing on behalf of a business entity, must state the relationship to that organization below or on an attached page:

**SECTION 2: GENERAL INFORMATION**

Check appropriate supervisor district: ☒ Braddock ☐ Lee ☐ Mason ☐ Mount Vernon ☐ Springfield

Total number of parcels nominated: one

Total aggregate size of all nominated parcels (in acres and square feet): 454,409sq. ft. \_\_\_\_\_ acres

Is the nomination a Neighborhood Consolidation Proposal: ☐ Yes ☒ No

**SECTION 3: SPECIFIC INFORMATION – Attach either the Specific Information Table found at the end of this application form or a separate 8 ½ x 11 page (landscape format) identifying all the nominated parcels utilizing the format as shown in the Table found at the end of this application.**

All subject property owners must be sent written notice of the nomination by certified mail unless their signature(s) appears in Section 1 (above).

**IMPORTANT NOTE:** Any nomination submitted without originals or copies of all the postmarked certified mail receipt(s) and copies of each notification letter and map will not be accepted.

## SECTION 4: CURRENT AND PROPOSED COMPREHENSIVE PLAN DESIGNATIONS

See Section IV, #4, of the Citizen's Guide for instructions.

Current Comprehensive Plan text for nominated property:

Use the Plan on the Web for your citation. It is the most up-to-date. Link: [www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/).

Current Plan Map Designation: ~~G-6~~ 5-8 du/ac

Proposed Comprehensive Plan Designation: ~~R-5-8 unchanged~~ 5-8 du/ac

### Mixed Use

If you are proposing Mixed Use, it must be expressed in terms of floor area ratio (FAR). The percentage and intensity/density of the different types of uses must be specific and must equal 100% of the total FAR proposed. The mix and percentage of uses provided by the nominator are what staff and the task force will review. Ranges are not acceptable.

Categories	Percent of Total FAR
Office	
Retail	
Public Facility, Gov & Institutional	
Private Recreation/Open Space	
Industrial	
Residential*	
<b>TOTAL</b>	<b>100%</b>

\* If residential is a component, please provide the approximate number and type of dwelling unit as well as the approximate square footage per unit assumed (i.e., 300 mid-rise multifamily units at 800 square feet per unit).

### Residential Land Use Categories

Categories expressed in dwelling units per acre (du/ac)	Number of Units
.1 - .2 du/ac (5-10 acre lots)	
.2 - .5 du/ac (2-5 acre lots)	
.5 - 1 du/ac (1 - 2 acre lots)	
1 - 2 du/ac	
2 - 3 du/ac	
3 - 4 du/ac	
4 - 5 du/ac	
5 - 8 du/ac	
8 - 12 du/ac	
12 - 16 du/ac	
16 - 20 du/ac	
20 + du/ac**	

\*\* If you are proposing residential densities above 20 du/ac, you must specify a range such as 20-30 du/ac or 30 -40 du/ac.

## SECTION 5: MAP OF SUBJECT PROPERTY

Attach a map clearly outlining in black ink the property of the proposed Plan amendment. The map must be no larger than 8 ½ x 11 inches. Maps in color will not be accepted.

## SECTION 6: JUSTIFICATION

Each nomination must conform with the Policy Plan and must meet at least one of the following guidelines. Check the appropriate box and provide a written justification that explains why your nomination should be considered, based on the guidelines below (two-page limit).

- ☒ The proposal would better achieve the Plan objectives than what is currently in the adopted Plan.
- ☐ There are oversights or land use related inequities in the adopted Plan that affect the area of concern.

All completed nomination forms must be submitted between July 1, 2005 and September 21, 2005 to:

Fairfax County Planning Commission Office  
Government Center Building, Suite 330  
12000 Government Center Parkway  
Fairfax, Virginia 22035-5505

APR# 05-III-7P  
Page 2 of 6

#### Section 4: CURRENT AND PROPOSED COMPREHENSIVE PLAN DESIGNATIONS

Current Comprehensive Plan Text for the nominated property:

5. Parcel 77-2((1)) 13C is planned for 5-8 dwelling units per acre. Development above the low-end should include dedication of the right-of-way and easements for Roberts Road adjoining the property. If the parcel redevelops, it should redevelop at the plan use.

### SPECIFIC INFORMATION TABLE

All subject property owners must be sent written notice of the nomination by certified mail unless their signature appears in Part 1 of this application. If you are required to notify more than one property owner, you must provide all the information requested below.

**IMPORTANT NOTE:** Any nomination submitted without originals or copies of all the postmarked certified mail receipt(s) and copies of each notification letter and map will not be accepted.

Tax Map Number	Name of Property Owner	Street Address of Parcel	Mailing Address of Owner	Parcel Size in Acres	Signature of Owner or Certified Receipt Number
077-2((1))-008-13C	Marshall Field Store Inc.	10301 New Guinea Road	PO Box 9456 care property tax Minneapolis, MN 55440 9456	10.432	7905 1820 0000 2985 1883



**SECTION 6: JUSTIFICATION**

This nomination is would do a better job of giving guidance than the current Plan text.